

*Meadowbrook*

*PLANNED RESIDENTIAL COMMUNITY*

**MEADOWBROOK DESIGN GUIDELINES**



**November 12, 2004**



# *Meadowbrook*

## *PLANNED RESIDENTIAL COMMUNITY*

### CONTENTS

FORWARD .....	3
OVERVIEW .....	4
Design Principals .....	5
THE PLANNING PROCESS .....	8
Plan Updates .....	9
Zoning Application Goals .....	12
DESIGN CONCEPTS .....	13
Historic Patterns .....	14
Residential Criteria .....	23
Lot and Home Types .....	26
Mixed Use Center Relationships .....	38
COMMUNITY CONCEPTS .....	46
Community Recreation .....	47
Streetscape Patterns .....	54
Streetscape Elements .....	61
THE NEXT STEPS .....	68

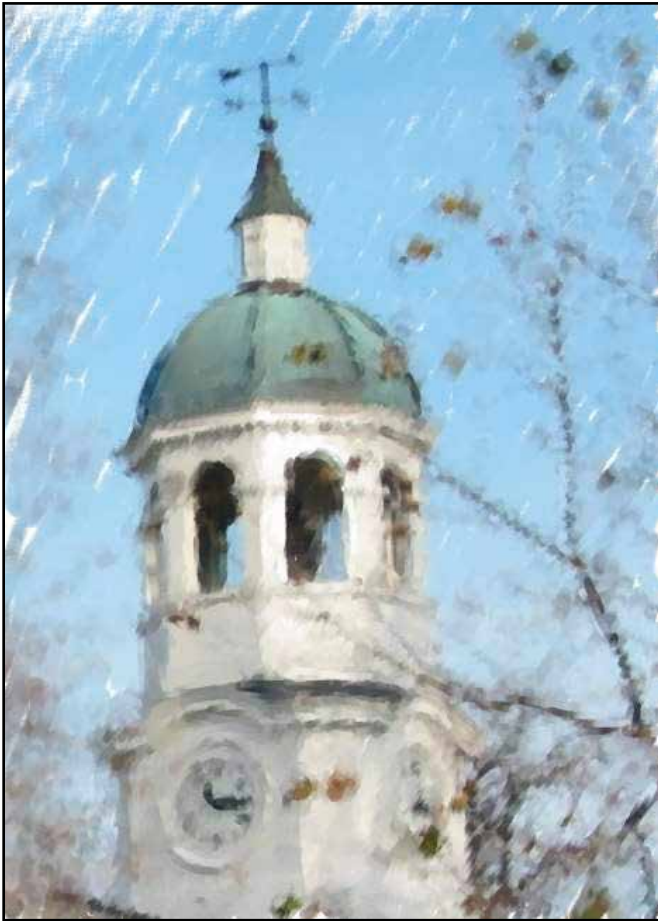
*NOTE: This document is intended to describe the design approach to the Rezoning Application at Meadowbrook in Leesburg. As such, the information shown is considered conceptual in nature and is subject to change as the application develops. All illustrations are an artists concept of future plans.*



## *Meadowbrook*

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## **FORWARD**



Why do people like Leesburg so much? One reason is history.

The passage of time has provided downtown Leesburg with an attractive patina- a mix of housing styles, traffic patterns, and open spaces that people find very livable. Leesburg has evolved into a town people relate to in scale and form. Leesburg's streets have a comfortable pattern to them- a pattern that is predictable but not boring.

It is this street grid that provides the framework for the fabric of Leesburg. The hierarchy of streets and passages sets the rhythm and scale of the architecture. Together, the streets, architecture, and time form an environment friendly to people and efficient for the automobile.

Leesburg's traditional pattern, of course, did not spring up by accident. At a point in the past, Leesburg's founders made a decision to design the Town using the simple planning principles of the grid. Today's residents have also made a clear commitment to continuing the Leesburg traditional grid pattern in the 1997 Town Plan. Growth that honors the concept of tradition, that builds on what has proven successful in the past, and commits to the traditions of Leesburg's history, will provide a positive growth model for the future.



# *Meadowbrook*

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*PLANNED RESIDENTIAL COMMUNITY*

## OVERVIEW

*PLANNING CONCEPTS, THE GENERAL PLAN, AND USES*



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## OVERVIEW

### Design Principles

This Meadowbrook Guidelines submission is part of the second (revised) submittal. It builds on the original application and demonstrates conformance with the Town Plan, the practical application of the Meadowbrook application on the land, and the soundness of the zoning modifications necessary to make it happen. It refines the design intent and illustrates how design will help create a community which makes a vital contribution to the Town of Leesburg.

Meadowbrook offers a special opportunity for the team tasked with building a new community there. Rarely do existing conditions and planning combine to make a site so attractive for community building. It suggests a unique opportunity to combine design principles of:

Density transition, and rhythm, in providing for an even progression to the mixed use center and adjacent neighborhoods.

Architectural variety, in matching the housing desires, employment needs, and existing patterns of the Leesburg market.

Sustainability, in providing for a community which will meet the region-wide needs for future housing and economic development.

Identity, as a community which has the unique Leesburg character- a community that identifies Leesburg first by fitting seamlessly into the town fabric.

Scale, in a community which is designed for the resident as walkable, containing the everyday needs for recreation, shopping, and social contact.



## *Meadowbrook*

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## OVERVIEW



### Design Principles

Meadowbrook has been designed in accordance with time tested planning principles to provide a safe, integrated neighborhood and a sense of community.

- \* The interconnected street grid provides for dispersion of automobile traffic and multiple access points for emergency vehicles. The perimeter of blocks are planned for an easy 5 minute walk.
- \* Alleys provide a place for utilities and parking, limit garage views, and promote sociability in the front yard.
- \* Local streets encourage walking by providing sidewalks and connections and by using traffic calming techniques such as narrow streets and tighter curves. Street tree programs and neighborhood greens help create an inviting space.



## *Meadowbrook*

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## OVERVIEW



### Design Principals

- \* Formal and informal open spaces provide recreational opportunities and focal points for the community. Connections to existing and future recreational facilities complete the picture of Leesburg's park system for the southwestern area of town.
- \* The mixed-use center provides area residents with services locally, reducing trips on the main arterial roads. The Center also provides a link to services inside the Bypass including the Catoc-tin business district and the historic downtown.
- \* Parking lots located behind buildings, to the greatest extent possible, reinforcing pedestrian oriented streetscape.
- \* A range of housing types with compatible architecture provide affordability, options, and a sense of community within each neighborhood. Single family detached and attached homes will be offered within the block system.
- \* Generally, residential density lessens as it radiates outward from the mixed-use center toward the southern edge of the community.



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**THE PLANNING PROCESS**

*PROGRESS WITH THE MEADOWBROOK  
APPLICATION...*



## Meadowbrook

### PLANNED RESIDENTIAL COMMUNITY

## THE PLANNING PROCESS



### Plan Updates

Meadowbrook has been consistently designed to provide a safe, integrated neighborhood and a sense of community. As with all projects though, the plan has evolved. Community input into the needs of the Town has shown that options not foreseen by the original design are now available.

The original plan proposed- and still does- a number of specific design concepts derived from urbanist traditions. They are:

- \* The interconnected street grid provides for dispersion of automobile traffic and multiple access points for emergency vehicles. The perimeter of blocks are planned for an easy 5 minute walk.
- \* Alleys provide a place for utilities and parking, limit garage views, and promote sociability in the front yard.
- \* Local streets encourage walking by providing sidewalks and connections and by using traffic calming techniques such as on-street parking and off-set streets. Street tree programs and neighborhood greens help create an inviting space.
- \* Compact lots allow for a more pleasing visual effect and for more public open space for community use.

*At left is the first submission of Meadowbrook showing the interconnected grid, neighborhood greens, and centralized main park.*



## *Meadowbrook*

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### *PLANNED RESIDENTIAL COMMUNITY*

## **THE PLANNING PROCESS**

### **Plan Updates**

- \* Formal and informal open spaces provide recreational opportunities and focal points for the community. Connections to existing and future recreational facilities complete the picture of Leesburg's park system for the southwestern area of town.
- \* The mixed-use center provides area residents with services locally, reducing trips on the main arterial roads. The Center also provides a link to services inside the Bypass including the Catoctin business district and the historic downtown.
- \* Parking lots in the Core are behind buildings, reinforcing pedestrian oriented streetscape.
- \* A range of housing types with compatible architecture provide affordability, options, and a sense of community within each neighborhood. Single family detached and attached homes will be offered within the block system.
- \* Generally, residential density lessens as it radiates outward from the mixed-use center toward the southern edges of the community.

In combination with community input, these original concepts formed the basis for several improvements to the plan. First, additional public facilities have been proposed on a redesigned network of open spaces. These improvements can be seen most dramatically in the areas near the regional pond and community center. Both spaces have been moved to be more centralized. They also offer an expanded facilities list, including tennis courts, pavilions, a recreational lake, and an arboretum.

Second, several significant improvements to the transportation system have been added. Chief among them is the relocation of Battlefield Parkway to the original alignment, as proposed by the Town Plan (aligned with Meade Drive), where it redefines neighborhoods and improves connections between Meadowbrook and surrounding communities. Additional buffers have also been redesigned along South King Street and Battlefield Parkway to help define a more attractive entry into town



## *Meadowbrook*

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### THE PLANNING PROCESS



#### Plan Updates

Third, an elementary school site is proposed along the eastern community edge. This helps make Meadowbrook a true pedestrian oriented community. Shopping, recreation, and community educational facilities are now within walking distance to most residents.

Finally, the multi-use center's layout has been significantly changed to address Town planning staff review comments. Meadowbrook's Tuscarora Station is now more closely integrated with surrounding communities by promoting ease of pedestrian access and a more defined mix of uses.

*At left is the revised layout introduced November, 2004. Note the addition of several significant open spaces including:*

*The addition of school facilities*

*A buffer along Mason's Lane.*

*Realignment of proposed Battlefield Parkway to Meade Drive.*

*More centralized community center.*

*Regional pond facility as focal point in the Town Park.*

*Provision of a lower density transitional area south of Battlefield Parkway.*

*A greater variety of living styles with the addition of courtyard homes.*



## *Meadowbrook*

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## **THE PLANNING PROCESS**

### **Zoning Application Goals**

The application for Planned Residential Community (PRC) is intended to fulfill Meadowbrook's planning principles and to implement the Town Plan recommendations. The application demonstrates that this plan enhances housing opportunities, adds value and increases tax base for future public improvements. The concept plan provides the framework for future site design decisions.

The concept is intended to be flexible to respond to site constraints and market conditions. It is intended to allow variations in layout and design of streets and blocks so long as it meets the intent of the zoning regulations and Design Guidelines. Specifically, the application:

- \* Insures compatible integration of retail, residential, and open space elements with each other and the greater community.
- \* Insures compatibility of a variety of housing types and styles.
- \* Maintains scale and form of development, emphasizing the needs of a pedestrian oriented environment.
- \* Minimizes the impact of the automobile through strategies such as on street parking, alley access, connected street system, traffic calming, and appropriately located uses.
- \* Provides for strategically located open spaces, including parks, streets, greens, buffers, and private yards.
- \* Insures compatibility of building architecture with respect to the character of the immediate context.
- \* Encourages sustainability with a mixed use center that provides for the daily needs of residents and employment opportunities for the wider community.



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**DESIGN CONCEPTS**

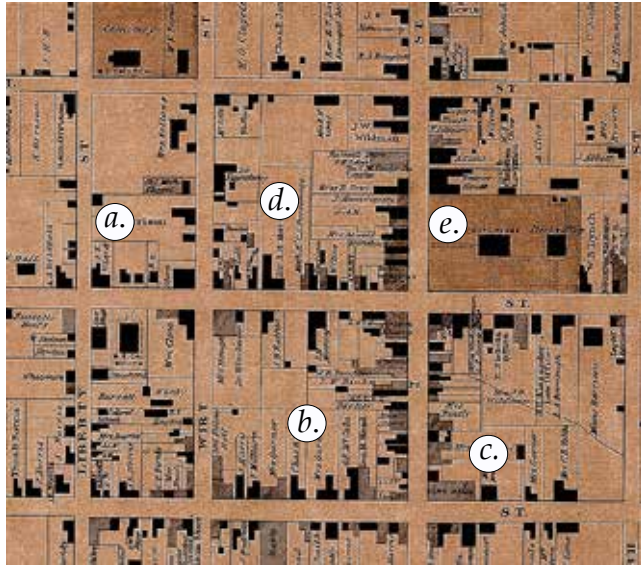
*DEFINING THE NEIGHBORHOOD PATTERN ...*



## Meadowbrook

### PLANNED RESIDENTIAL COMMUNITY

## DESIGN CONCEPTS



Portion of the Leesburg Historic District\*

- (a.) Narrow and variable streets arranged in a grid.
- (b.) Alley access for utilities and parking.
- (c.) Homes brought closer to public right of way, narrow lots, and rear access promote pedestrian scale and interaction on the street.
- (d.) Mixed lot fronts, sizes, and uses possible within each block.
- (e.) Neighborhood and community hierarchy of centralized greens with fronting structures forming a wall.

\* From a Map published by the Loudoun Restoration and Preservation Society

### Historic Patterns

The land use and building- to building relationships in Meadowbrook are intended to provide a social, pedestrian community that will age in partnership with the historic patterns of Leesburg.

To do this, each planned block is measured against the visual impact of the street edge, building type, and historic context of the original town grid. Meadowbrook recreates many of the same features- both eclectic and standard- and overcomes many of the historic dilemmas- such as vehicular circulation- through the use of new urbanism principals and design solutions.

The Town of Leesburg's historic district can serve to illustrate these principles. Born at the point where two colonial roads intersected, the town grew as a rural commercial center around the crossroads. Over time, the town grew to include a variety of homes types. The homes were often intermixed with regards to size, and shape. Uses were also intermixed and home occupations common. Outbuildings and utility structures were handy to the home and were frequently used as residences. For ease of maintenance, homes were often oriented close to a narrow street. In some cases, particularly with commercial uses, alleys relieved street congestion with alternate entries and a place for utility. Commercial areas often had proprietors living above the store front. As carriages gave way to autos, these homes were adapted or newly built to provide garages in the rear or with on street parking in narrow cartways. Narrow sideyards allowed maintenance access while porches reached to the street as outdoor rooms where neighbors interacted with one another.



## *Meadowbrook*

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# DESIGN CONCEPTS

### Historic Patterns

Prior to the era when carriages gave way to autos, many of the homes inside the town limits had a barn located to the rear of the house for the care of horses and carriages. In the era of the auto, garages took the place of livery. In both times, these utility buildings tended to be subordinate to the house. Often they were hidden in the rear and/ or access by alley. Visitors were greeted by the home when they pulled up along the street.

The use of garages and, in particular, alleys, promoted narrow, efficient sideyards. They also promoted the front porch as living space and the street front as a place where neighbors met. For those fortunate enough, their home was located upon a green, where the living room extended out into the public park in the summertime.

Meadowbrook has been laid out to recreate the best of these features. Homes are moved closer to the street edge and nearer together and are often fronting on community greens. The street is encouraged to become a pedestrian space and much the auto and utility access is directed to the rear of the homes, often in stand alone garages.

Parcels and lots are also of familiar Leesburg Historic District proportions. The narrow widths and shallow front yards common to Leesburg's historic pattern are repeated in Meadowbrook. Further, this plan incorporates a transition area (south of Battlefield Parkway) where densities, lots, and lot patterns change as they near the town limits. This imitates the historic pattern interrupted by the annexations to the Town in the middle of the past century.

Of course, historic context provides just a framework for the design of Meadowbrook. Actual layout is done on a lot by lot basis and is best demonstrated on a block and neighborhood level, on a case-by case basis, as follows in *Design Concepts*.



## Meadowbrook

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### DESIGN CONCEPTS



*In this perspective view, architecture, street trees and key open areas define public spaces that are safe and usable.*

#### Fronting Directly on a Green

Homes fronting greens are accessed from the rear, creating pocket parks and extending the appearance of large front yards.



- (a.) HOA space used as focal point to terminate view lines.
- (b.) Alley access controlled; landscape elements provide focus and termination of sight lines.
- (c.) Homeowner access to rear of houses, creating green definition and removing cars and garages from street prominence
- (d.) Small greens are generally formal but do provide minor active recreation opportunity.



## Meadowbrook

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## DESIGN CONCEPTS



*This perspective view shows a typical garage view as seen from mid alley. The aprons provide for full parking and safe maneuver as well as additional greenspace.*

### Fronting on a Street

Homes fronting on greens or neighborhood streets may be accessed from the rear or side, providing visual variety and a sense of personal open space.



- (a.) Greenspace defined and centralized to neighborhood.
- (b.) Alley access controlled; landscape elements provide focus and termination of sight lines.
- (c.) Homeowner access to rear of houses, creating green definition.
- (d.) Mixed unit types give housing variety and generate interest.
- (e.) Options in side, rear and front access, as well as integral and detached garages offer visual variety and options.



## Meadowbrook

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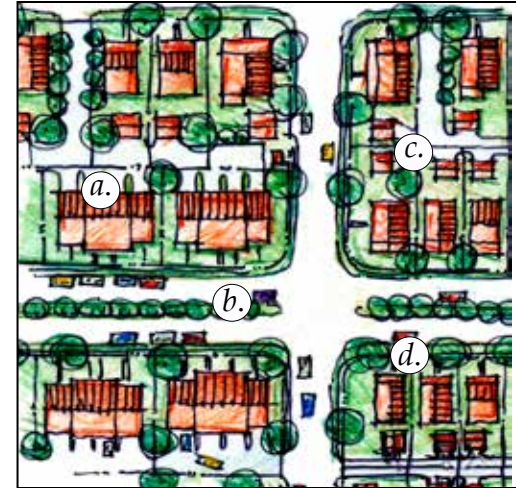
## DESIGN CONCEPTS



*In this perspective view, we can see more formalized plantings with fronts facing the main course of traffic. A mix of home types is used, most accessed from the rear by alleys.*

### Fronting on a Boulevard

Homes fronting boulevards are selected with an eye for formality. While mixed types are used, they tend to be higher density or larger, more formal homes.



- (a.) Some higher density home types incorporated within the street wall.
- (b.) Formalized landscape.
- (c.) Homeowner access to rear of houses, creating access options and reducing main street traffic.
- (d.) Mixed use types with reduced front and side yards reinforce the formality of the boulevard. Note the change of unit types to higher density types, which add mass and define the street corridor.



## Meadowbrook

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## DESIGN CONCEPTS



*Access to homes is provided in a number of ways, including driveway to rear, driveway to front, and alley drive conditions.*

### Access Options

As in Leesburg, a large number of fronting options will be seen in Meadowbrook.



- (a.) Garages may be located in the rear of the lot, accessing from the front.
- (b.) Ample private green space is provided behind the home.
- (c.) Corner lots may access from side, front, or alley, presenting variety in home orientation.
- (d.) Some drives may be utilizing greenspace.



## Meadowbrook

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### DESIGN CONCEPTS



*This perspective view illustrates a street-level view of a proposed carriage home streetscape. Note the center entrance to the homes, diverse elevation treatments, and the orientation of end units gives the impression of a single family neighborhood.*

#### Single Family Courtyard Home Relationships

Single family attached courtyard homes share the same reduced setbacks and familiar street relationship while reducing street access to a single drive.



- (a.) Variable materials used within each unit give uniqueness to individual homes.
- (b.) Driveways are internalized, reducing both pavement and entryways to the street. Driveways appear as small side streets.
- (c.) Unit types may be mixed, providing variety at street level.
- (d.) Homes are set close to the road to frame the streetscape. Units match the character and scale of single family detached homes.



## Meadowbrook

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### DESIGN CONCEPTS



#### South King Street Relationships

Homes on King Street may face a green strip buffer. This buffer is formal and tends to increase in density as you near the core of town.



*In this perspective view, note the formal street tree program, slightly enlarged front yards, and mixed house types within a single block. The network of walkways and special crossings assist pedestrian flow and reinforce human scale.*

- (a.) Mixed home styles and orientation provide variety.
- (b.) Sight lines controlled; landscape and home elements provide focus and termination of sight lines.
- (c.) Formal frontage landscape elements reinforce existing Leesburg Street Tree Program.
- (d.) Home styles change as they close on the center of Town.



## Meadowbrook

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## DESIGN CONCEPTS



*This perspective view, south of Battlefield Parkway, shows larger parcels less formal green areas. This area transitions to the edge of town, where larger lots ring the edge of Leesburg with a less urban feel.*

### Along Battlefield Parkway

Homes south of the Parkway tend to be larger and more formal. A buffer is planned along the frontage with the parkway and homes sharing a less formal appearance.



- (a.) Trail connections and informal landscape are part of the Parkway frontage treatment.
- (b.) Lots tend to be larger, homes more traditional.
- (c.) Homes share the Meadowbrook grid system, reducing and calming traffic.



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## RESIDENTIAL LOT CRITERIA

*ILLUSTRATING HOME AND BUILDING  
RELATIONSHIPS...*



## *Meadowbrook*

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## RESIDENTIAL CRITERIA



### Home and Building Lot Types

One of the hallmarks of Meadowbrook is the diversity of it's homes and housing types. The project draws parallels to the variety provided by Historic Leesburg.

Just as in the Historic District, several sizes and types of homes can be found at Meadowbrook- within the community, within a neighborhood, and even within a block. Single family detached homes are intermixed with single family attached and multi-family homes in a way that provides a choice for all types of home buyer on a neighborhood- by neighborhood basis. It also provides visual variety (on both neighborhood and community levels), the flexibility to better meet market conditions, and the opportunity to better plan more centralized, better defined open spaces.

#### LEGEND

- Mixed Use
- School
- 2 Over 2 Multi-Family
- Townhomes
- Carriage Homes
- 40' Single Family
- 50' Single Family
- 60' Single Family
- 75' Single Family



## *Meadowbrook*

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## RESIDENTIAL CRITERIA



*Typical of a corner grouping of single family detached homes, this view across a side street shows an optional turned garage, reduced side and front yards, variety in the architectural treatment of houses, and special consideration given use of materials on high visibility units.*

### **Home and Building Lot Types**

Meadowbrook is designed to foster sustainability, a sense of neighborhood, and continuity with existing patterns.

Among the elements needed to accomplish these goals is an established relationship between the homes and how they are placed upon the lots. Each of Meadowbrook's neighborhoods has a particular mix of homes and varying density. How these elements relate to the street and to each other is the next level of detailed planning.

This section illustrates how this relationship may work with each home type. The first drawing shows the homes in a string elevation, to clarify how each of the home types may appear from street level and to each other. In the second illustration, setbacks are proportioned, homes located on the lots, and driveway access is indicated. These models show conformance with, or how modifications may effect the bulk appearance of the home from the street. The third illustration, layout, shows the same lot size and building type in relationship to anticipated landscaping.



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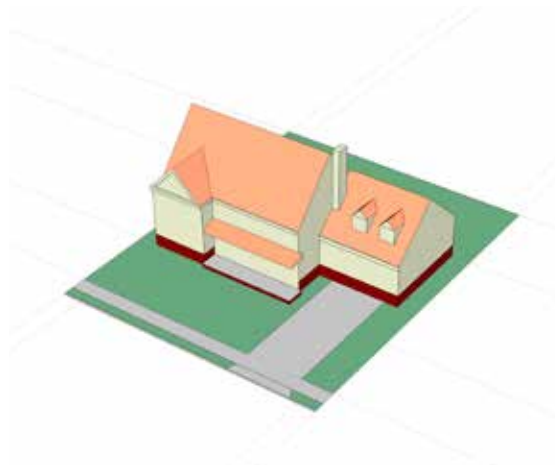
### LOT and HOME LAYOUT

75' Estate Series Single Family Home,  
Front Entry Attached Garage

#### ELEVATION



#### FORM



#### LAYOUT



*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*



## *Meadowbrook*

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### LOT and HOME LAYOUT

66' Series Single Family  
Detached Home, Street  
Entry Detached Garage

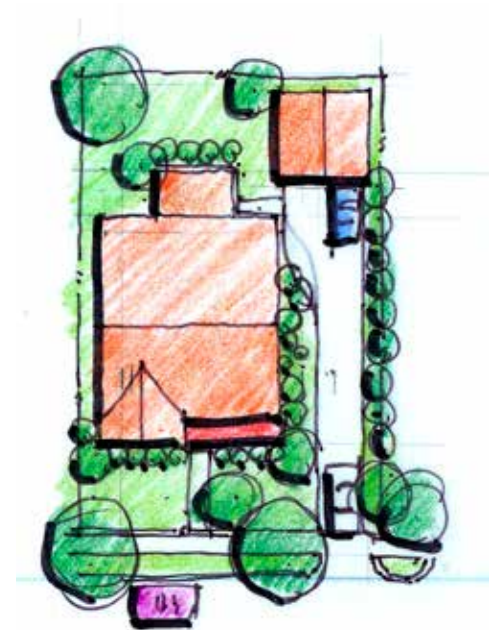
**ELEVATION**



**FORM**



**LAYOUT**



*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*



## *Meadowbrook*

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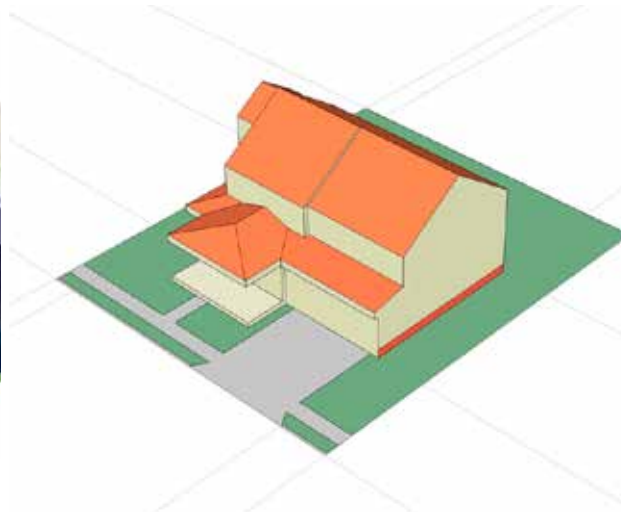
### LOT and HOME LAYOUT

66' Series Single Family  
Detached Home, Street Entry  
Attached Garage

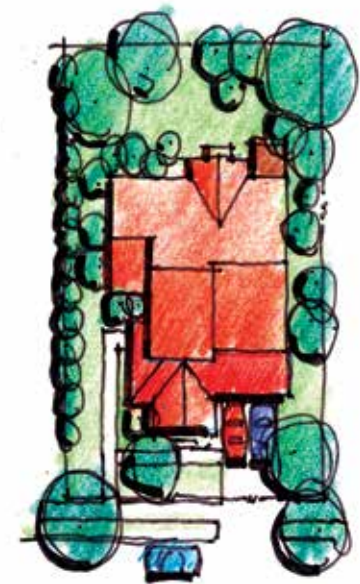
#### ELEVATION



#### FORM



#### LAYOUT



*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*



## *Meadowbrook*

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### LOT and HOME LAYOUT

52' Series Single Family Home, Alley Entry, Detached Garage

#### ELEVATION

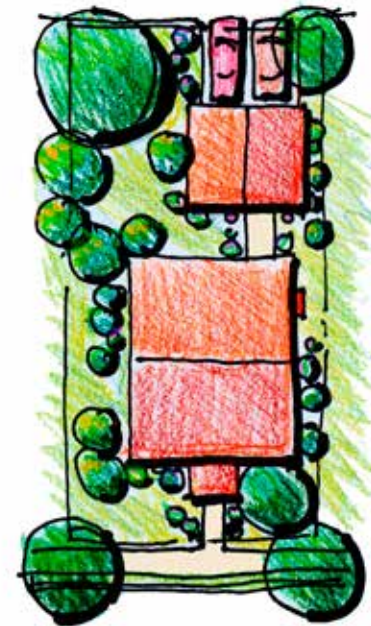


*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*

#### FORM



#### LAYOUT



## *Meadowbrook*

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### LOT and HOME LAYOUT

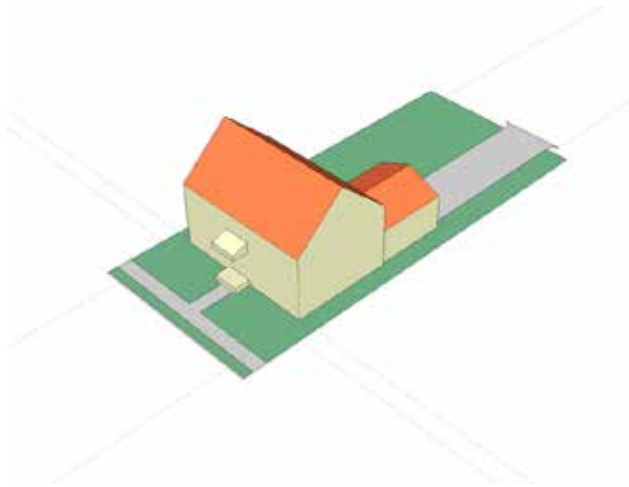
52' Series Single Family Home, Alley Entry  
Attached

#### ELEVATION

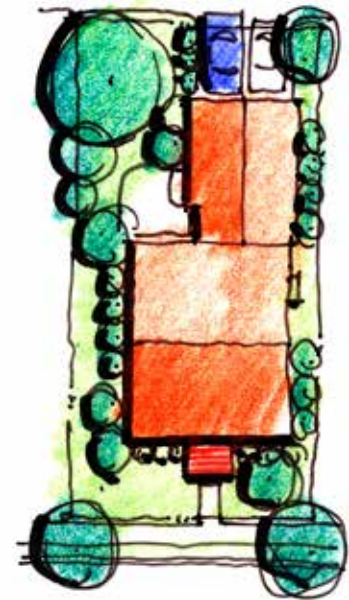


*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*

#### FORM



#### LAYOUT



## *Meadowbrook*

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### LOT and HOME LAYOUT

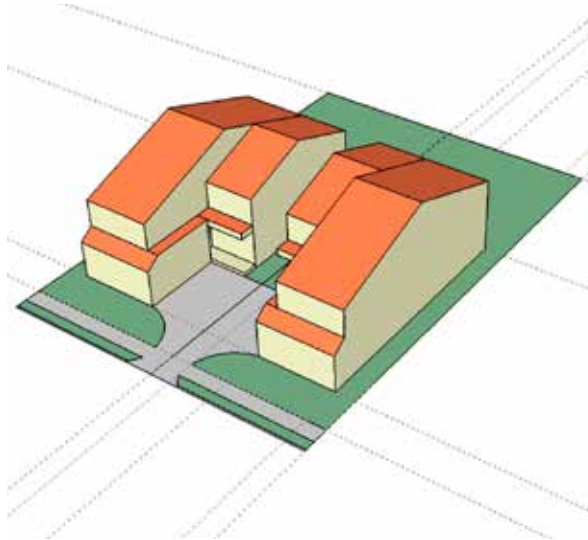
42'/45' Series Single  
Family Home, Front  
Entry Attached Garage

#### ELEVATION

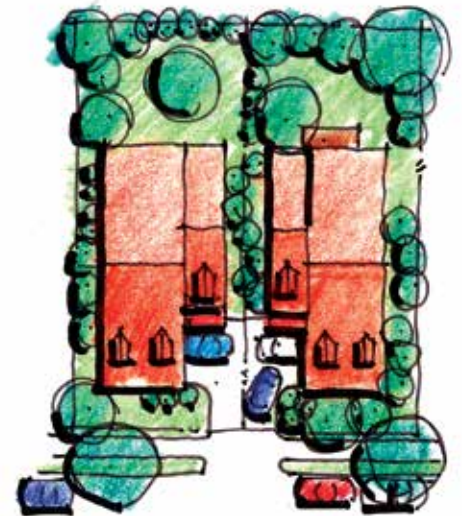


*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*

#### FORM



#### LAYOUT



## *Meadowbrook*

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### LOT and HOME LAYOUT

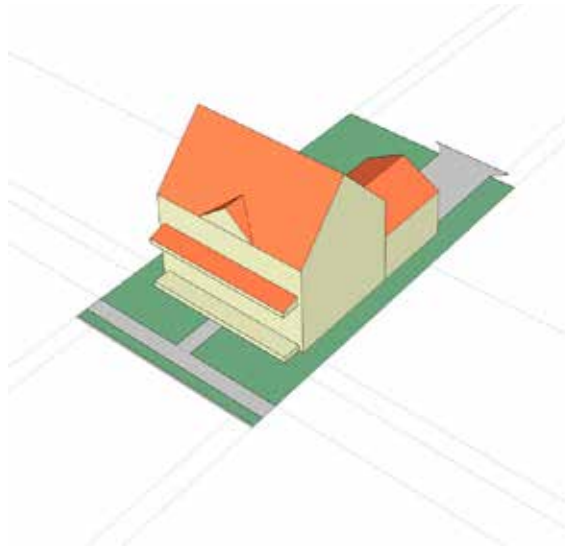
42'/45' Series Single  
Family Home, Alley  
Entry Attached Garage

#### ELEVATION

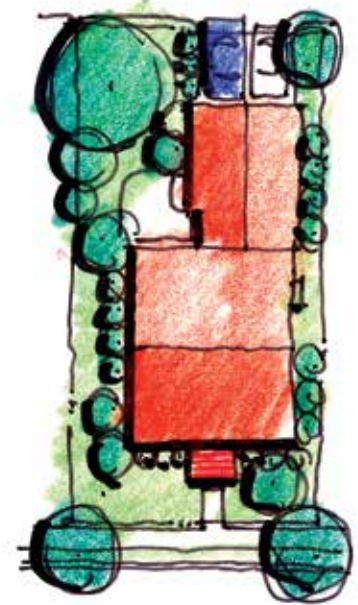


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#### FORM



#### LAYOUT



## *Meadowbrook*

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### LOT and HOME LAYOUT

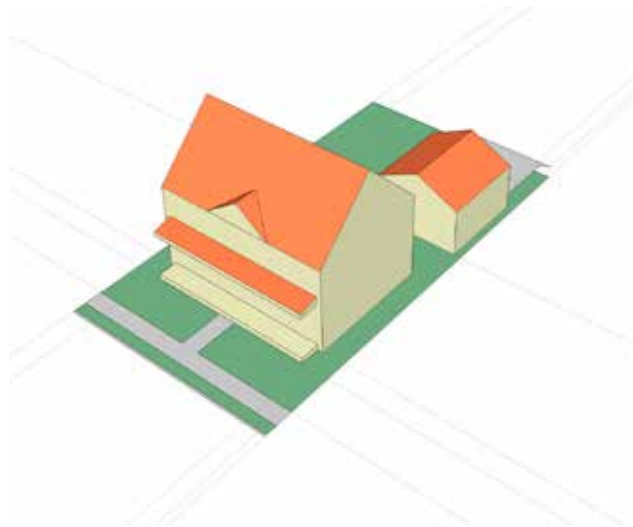
42'/45' Series Single  
Family Home, Alley En-  
try Detached Garage

#### ELEVATION

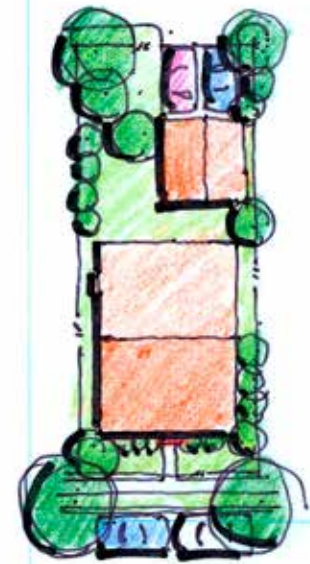


*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*

#### FORM



#### LAYOUT



## *Meadowbrook*

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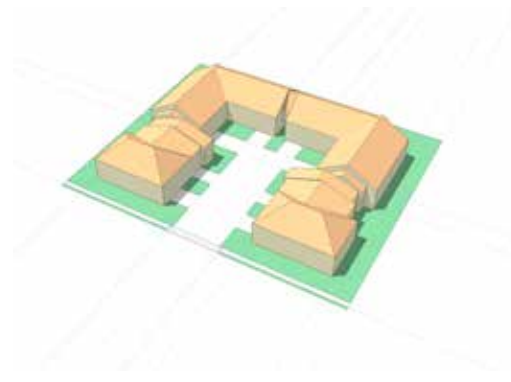
### LOT and HOME LAYOUT

Courtyard Series Single  
Family Homes, Front  
Entry Attached Garage

#### ELEVATION



#### FORM



#### LAYOUT



*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*



## *Meadowbrook*

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### LOT and HOME LAYOUT

Two Over Two Series Multi  
Family Homes, Alley Entry  
Attached Garage

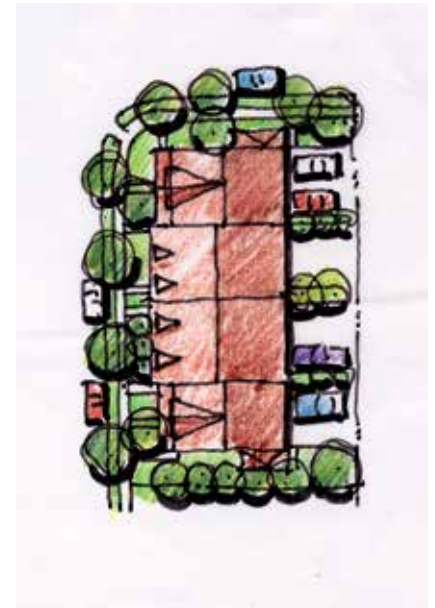
**ELEVATION**



**FORM**



**LAYOUT**



*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*



## *Meadowbrook*

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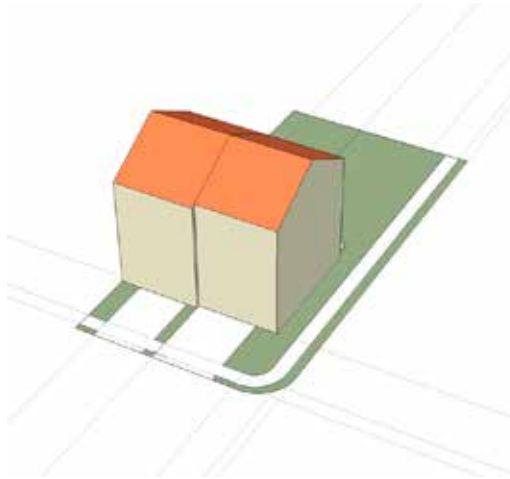
### LOT and HOME LAYOUT

22' Series Single Family  
Attached Home, Front  
Entry Garage

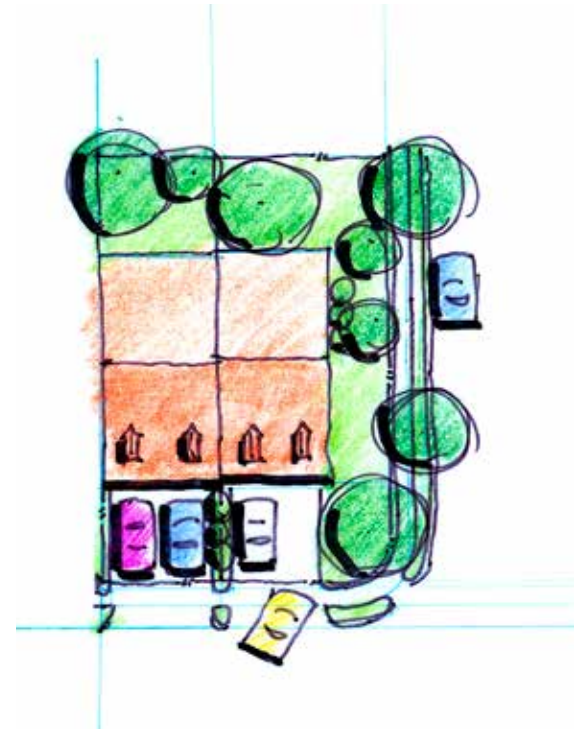
**ELEVATION**



**FORM**



**LAYOUT**



*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*



## *Meadowbrook*

*PLANNED RESIDENTIAL COMMUNITY*

### LOT and HOME LAYOUT

22' Series Single Family  
Attached Home, Alley  
Entry Garage

#### ELEVATION

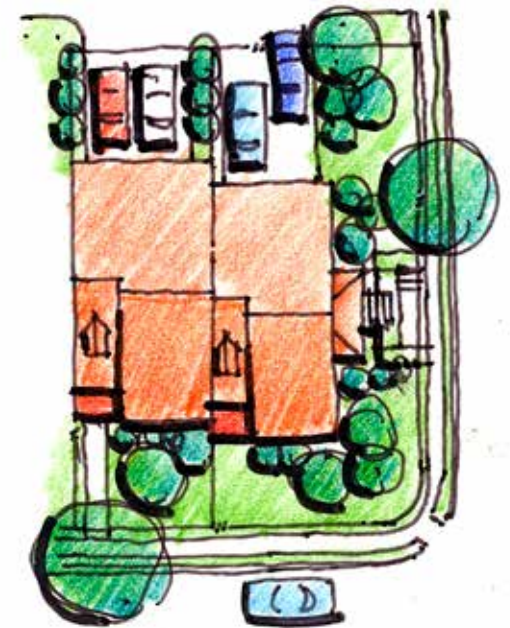


*Please refer to the submitted plan set for proposed bulk restrictions, yard setbacks and modifications.*

#### FORM



#### LAYOUT



*Meadowbrook*

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*PLANNED RESIDENTIAL COMMUNITY*

## MIXED USE CENTER RELATIONSHIPS



## *Meadowbrook*

PLANNED RESIDENTIAL COMMUNITY

### MIXED USE CENTER RELATIONSHIPS



#### **Design Objectives – Meadowbrook Mixed-Use Center**

The retail and office components of the Meadowbrook community play a critical role in ensuring the sustainability of this new development. Smart growth principles hold that minimizing automobile use is central to sustainable development, and, to that end, ideal neighborhoods are compact ones, with shopping opportunities close to the home and to the workplace. Uses are also mixed, with office and residential uses above many of the shops.

The streets and green spaces form the core of the public realm in the Mixed-Use Center. Green spaces are located strategically throughout the Mixed-Use Center, providing opportunities for people watching, outdoor socializing, and simply enjoying the outdoors. These spaces are interconnected with generous sidewalks, allowing pedestrian circulation throughout the Mixed-Use Center. Parallel and angled parking not only serve the needs of people who live, work and shop there, but also help shelter pedestrians from passing traffic.

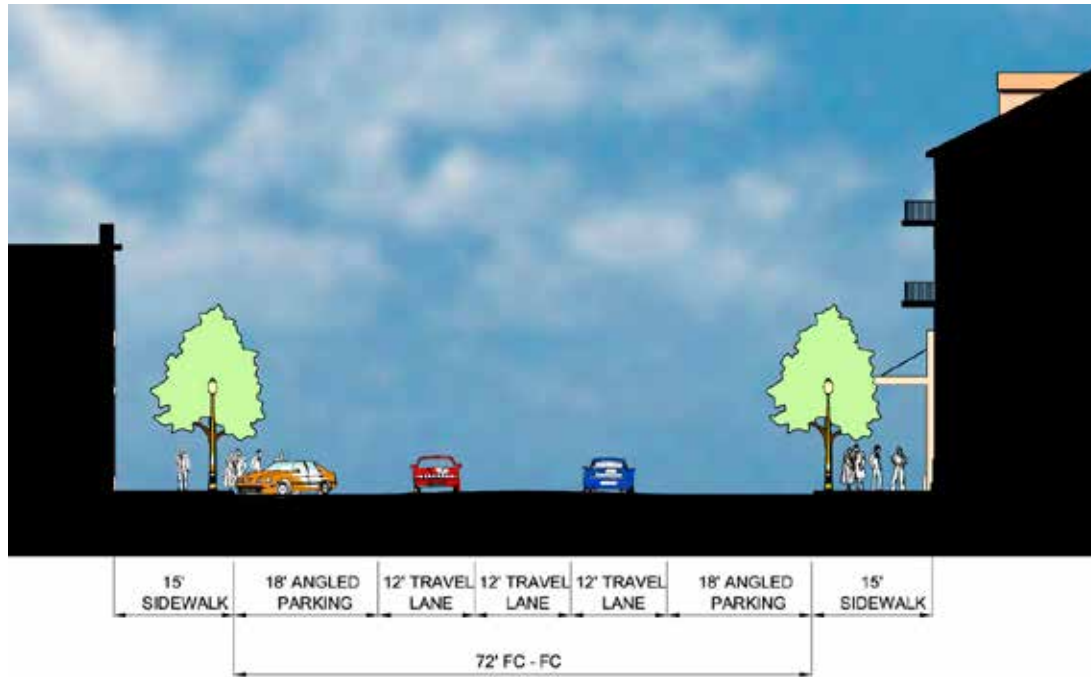


## *Meadowbrook*

PLANNED RESIDENTIAL COMMUNITY

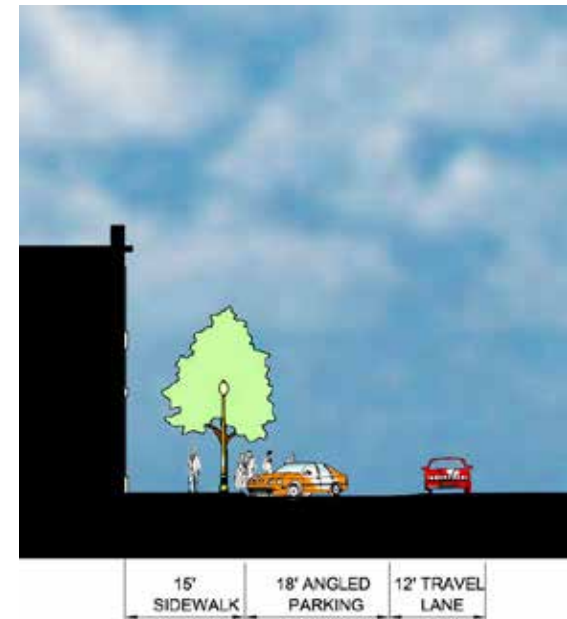
### MIXED USE CENTER RELATIONSHIPS

#### Public Realm: Street Sections A and B



#### Section A

Section A shows entrance to the mixed use center from Stowers Lane with 3 travel lanes and head in angled parking on both sides of the street. The retail storefronts open out on to the 15 foot tree lined sidewalks. The building on the left shows office above retail while the building on the right shows residential above retail.



#### Section B

Section B shows a typical section through the main street retail with 15 foot tree lined sidewalk and head in angled parking.

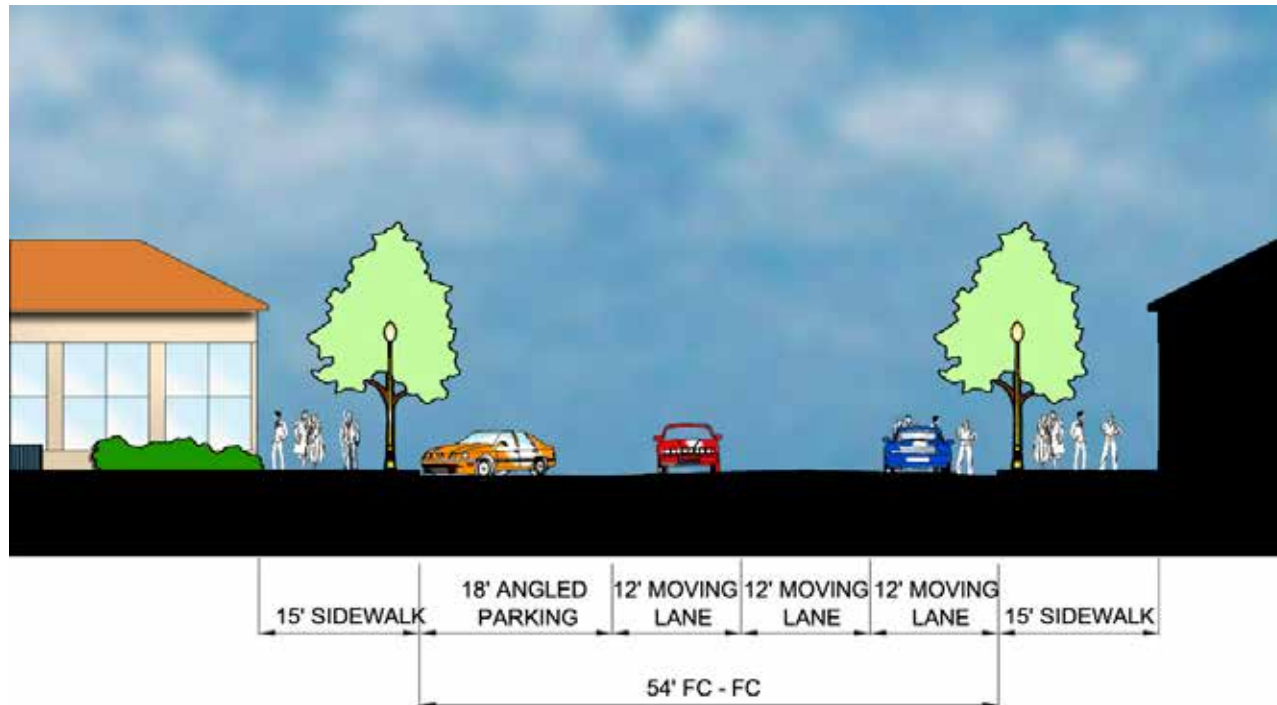


*Meadowbrook*  

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*PLANNED RESIDENTIAL COMMUNITY*  
**MIXED USE CENTER RELATIONSHIPS**

**Public Realm: Street Section C**



**Section C**

Section C shows the main entrance into the mixed use center from the Evergreen Mill Road with a typical retail shop front on the right, 3 travel lanes, head in angled parking on the left side of the street, 15 foot tree lined sidewalks and a landscaped open space in front of retail storefront on the left side of the street.

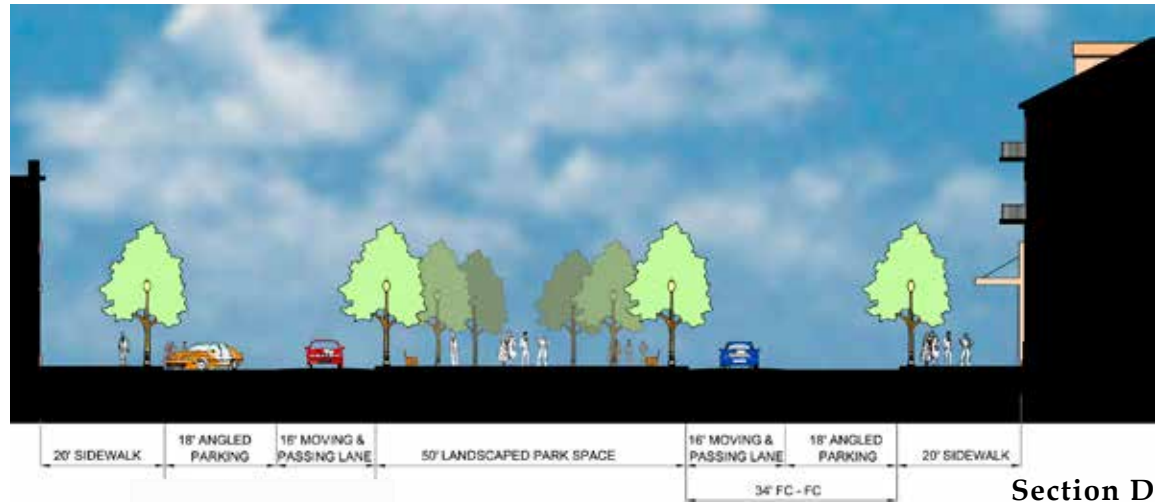
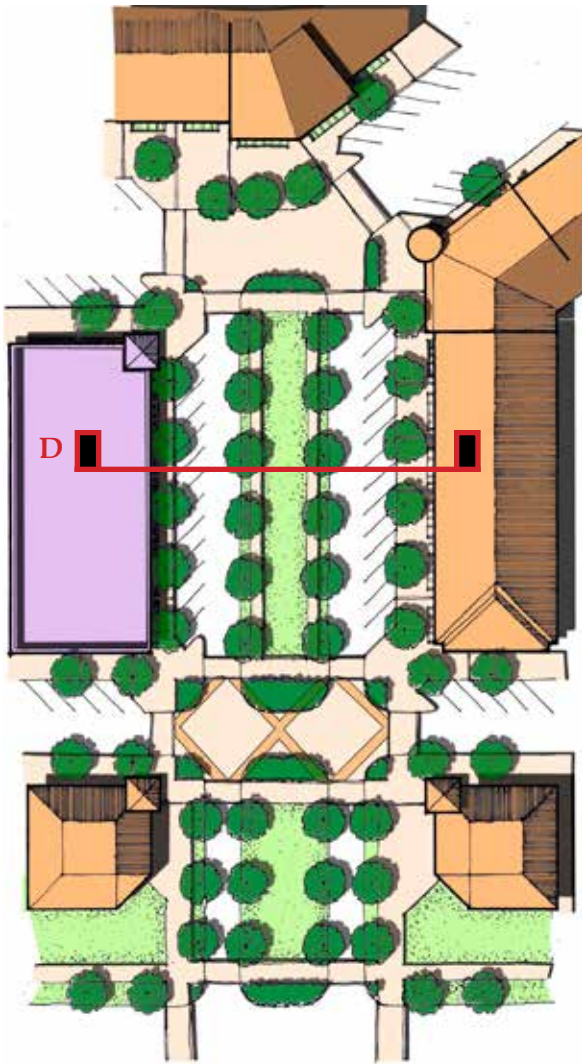


## *Meadowbrook*

PLANNED RESIDENTIAL COMMUNITY

### MIXED USE CENTER RELATIONSHIPS

Public Realm: Open Space



Section D

Appropriate landscape will unify elements of the development, enhance the pedestrian environment, frame and focus views, and provide screening for roadways, parking and service areas. The design of the landscape should emphasize such elements as form, texture, and rhythm, as well as celebrate the seasonal nature of environmental change.



## *Meadowbrook*

PLANNED RESIDENTIAL COMMUNITY

### MIXED USE CENTER RELATIONSHIPS

#### Public Realm: Landscape Elements

Sidewalks and pedestrian crosswalks should be paved with clay brick, concrete brick, or other unit pavers, as shown in the example at left. Concrete headers should be used at intervals to allow for future repairs. Curbs should be either concrete or monumental granite, and no higher than 6".

Street trees should be planted with a minimum caliper of 3". Street tree cultivars should be selected to provide shade, and columnar or fastigate street trees should only be permitted in green park spaces, not in streets. Street tree spacing will be determined by the horticultural requirements of the tree cultivar. In general, however, this spacing should be between 25' and 40' on center. Street trees should be limbed to 7' above grade to allow the passage of pedestrians.

The use of continuous tree trenches with a minimum width of 4' and depth of 3' is encouraged. Utility easements must not share the same horizontal alignment as tree trenches. Paving over structural soil should be permitted where desired in pedestrian areas. Where structural soil is used, maintain a minimum 4' x 4' tree grate opening for access to tree pit. Minimum planting area for each tree should be 48 SF. Planting areas along streets should be protected from pedestrian circulation by a raised curb, through the use of planting "hoops", or with enlargeable tree grates.

Street furniture, including benches, trash receptacles, and bike racks, should equal the quality shown in the examples at left. In general, light fixtures should be compatible with those found in historic Leesburg, as in the example at left. Poles should be between 10' and 14' in height, and luminaires should be specified in glass. Lamps should be metal halide.



THE TOWN OF LEESBURG, VIRGINIA



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## **MIXED USE CENTER RELATIONSHIPS**



### **Exterior Appearance of Buildings**

Each building should be designed to complement the architectural character of its immediate neighbors and to be sensitive to their material, color, and scale. The number of materials used on the exterior of each building should be kept to a minimum.

### **Building Character**

Buildings should exhibit a sense of quality and permanence consistent with historic Leesburg. Buildings adjacent to or opposite one another shall have a consistent architectural datum (cornice, change in material, setback, etc), which is intended to reinforce a similarity of scale.

### **Building Materials**

No more than two building materials (in addition to glass) should be used as vertical exterior cladding (excluding roofs), and one material should serve as the dominant cladding material. All windows at the ground floor must use clear, non-reflective glass.

### **Location of Screening and Mechanical Elements**

A high architectural quality will characterize the Mixed-Use Center.

Service elements, such as loading docks and trash collection locations, should not open on public streets and should be screened from view with a minimum six (6) foot high fence or wall. Fences and walls attached to buildings should be developed as architectural extensions of the building, and be constructed of the same materials and in the same style.

Mechanical elements, whether located on the ground or on the roof, should be invisible from the street.



# *Meadowbrook*

## *PLANNED RESIDENTIAL COMMUNITY*



*Meadowbrook*

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*PLANNED RESIDENTIAL COMMUNITY*

COMMUNITY CONCEPTS



## *Meadowbrook*

*PLANNED RESIDENTIAL COMMUNITY*

### COMMUNITY CONCEPTS



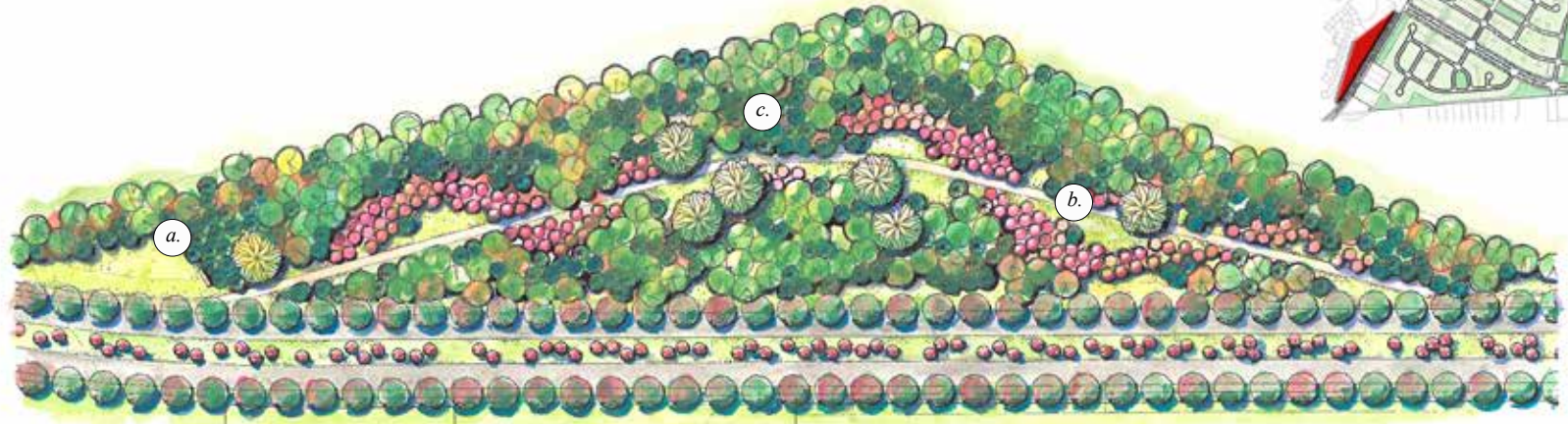
#### **Community Recreation:**

The feeling of community is partially defined by the physical elements that compose it. These physical features help create a sense of place as well as identity for the community. The design concepts of Meadowbrook incorporate a well composed mix of outdoor spaces, woven together through a network of pedestrian and vehicular corridors. These spaces, which vary in scale from a large community park to small neighborhood greens, provide a venue for the types of activities essential for a thriving and interactive community.



*Meadowbrook*  
PLANNED RESIDENTIAL COMMUNITY

## COMMUNITY CONCEPTS



### Community Recreation: Town Gateway Park

The Town Gateway will serve as a welcoming point for the Town of Leesburg. Incorporated into this gateway park will be entry signage and a 8' wide multi-use trail which will provide pedestrian access into the Town. This trail will follow the Old Carolina Road bed, serving as a historic reminder of the Leesburg's past. Evergreen trees will be installed to supplement the existing woodland providing a dense screen for the adjacent residential community. Drifts of ornamental Yoshino cherry trees adorn either side of the trail.

- (a.) Leesburg entry monument feature
- (b.) 8' wide multi-use trail
- (c.) Evergreen plant material to supplement existing trees.



*Town of Leesburg entry monument*



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*



## COMMUNITY CONCEPTS



### Community Recreation: Town Park

The town park, being located between the retail center and the northern most residential neighborhoods provide a unique transition between both use types. The Park, consisting of a natural edged pond, provides various settings for active and passive recreational uses. The pond is flanked by extensive landscaping with interpretive educational plaques describing vegetative areas from perennial pond edge plantings to the woodland arboretum. Seating, picnicking area and recreational courts are connected by a natural surface trail allowing access within the park to the surrounding neighborhood sidewalks.

- (a.) Regional storm water management pond
- (b.) Active play including playground equipment, half-court basketball, restrooms and parking for 15 vehicles
- (c.) Picnic pavilion
- (d.) Pedestrian pier extending to a gazebo look-out point

- (e.) 8' wide multi-use trail and maintenance access
- (f.) 6' wide natural surface trail with interpretive signage
- (g.) Scenic overlook



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*



## COMMUNITY CONCEPTS

### Community Recreation: Community Green

The community center, centrally located among the residential neighborhoods, provides the community with a variety of recreational experiences. Structured play equipment areas for variety of age groups, as well as a state of the art competition and recreational swimming facilities are present. The clubhouse architecture compliments the adjacent residential units and is flanked by convenient on-site parking and a garden area. A comprehensive pathway system connects all of the recreational facilities and numerous seating areas with the perim-



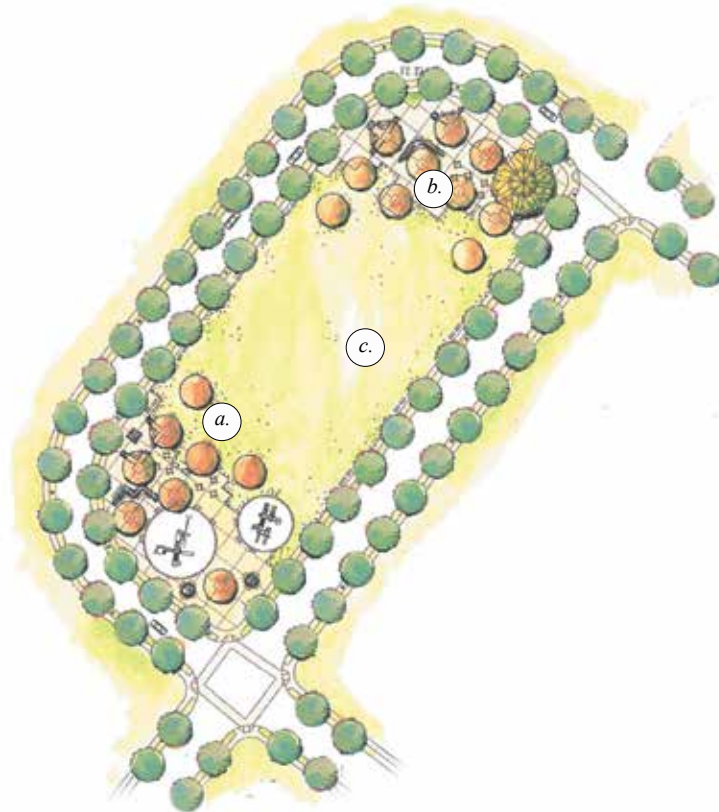
- (a.) 5,500 sf community center
- (b.) Pool area including a 6-lane competition pool, and kiddie pool.
- (c.) Active play area including tot lot and volleyball.
- (d.) Garden terrace for gatherings and events
- (e.) Open green space
- (f.) Drop off area



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## COMMUNITY CONCEPTS



*Central Green*

### **Community Recreation:** **Neighborhood Green**

The Clear Wells neighborhood green provides a large open lawn area for unstructured play. Two multi-age play structure areas are located among informal pedestrian paths with bench seating areas. Perimeter streetscape sidewalks allow for convenient accessibility.

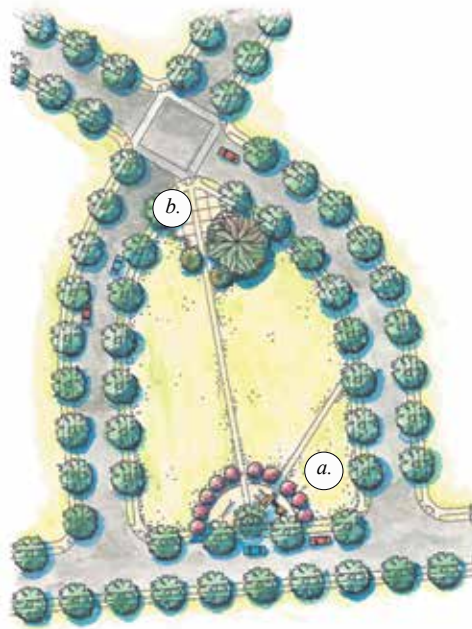
- (a.) Playground area with equipment for various age groups
- (b.) Quiet picnic area under large shade trees
- (c.) Open lawn



## *Meadowbrook*

*PLANNED RESIDENTIAL COMMUNITY*

### COMMUNITY CONCEPTS



*Marshall's Hunt Community*

#### **Community Recreation:** **Neighborhood Green**

The Marshall's Hunt neighborhood green serves as a respite area within the neighborhood while providing multi-age play equipment and seating areas. Moderately sized open lawn areas allow for unstructured play and informal pedestrian gathering. Perimeter streetscape sidewalks allow for convenient accessibility.

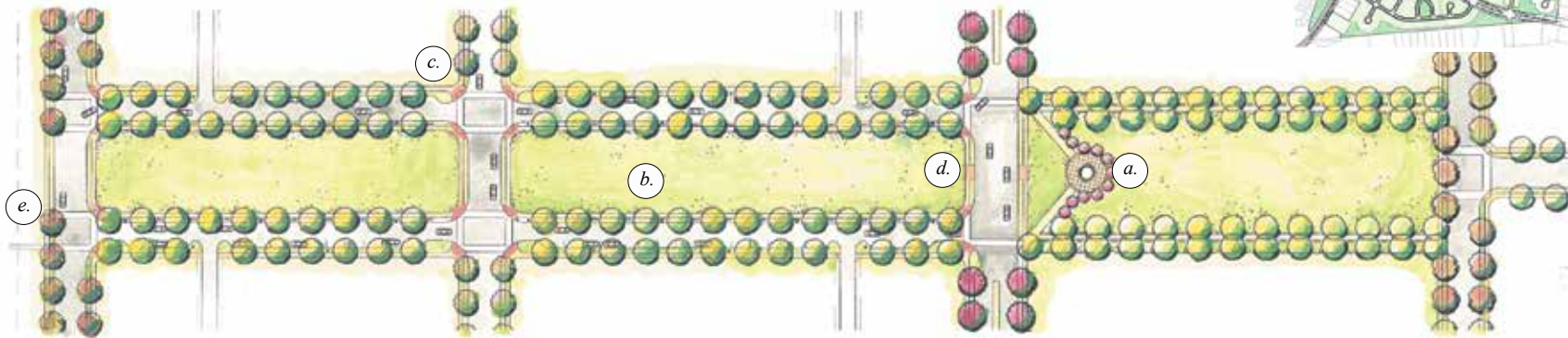
- (a.) Playground area with equipment for various age groups and benches for viewing
- (b.) Gathering plaza under large shade trees.



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## COMMUNITY CONCEPTS



- (a) Focal point feature such as a sculptured element with surrounding ornamental trees.
- (b) Shade tree-lined linear open green space for active or passive recreation.
- (c) Decorative paving at pedestrian landings of major intersections accent the axial geometry of the promenade and enhances the pedestrian experience.
- (d) A bus stop is centrally located at the feature area.
- (e) Pathway connection to multi-use trail along Route 15.

### **Community Recreation: The Village Promenade**

The Village Promenade is the grand east/west linear park which physically and visually connects various neighborhoods in the southern portion of the community. Open "green" lawn panels provide visual access through the neighborhoods terminating at the off-site historical barn located across Route 15. Tree-lined streets with bench seating areas edge the lawn panels transitioning to landscaped pedestrian "allee's" embracing a community monument plaza space located in the western lawn panel.



## *Meadowbrook*

*PLANNED RESIDENTIAL COMMUNITY*

### COMMUNITY CONCEPTS



#### **Streetscape Patterns**

The streetscape fabric abutting the site, allows for a clear and safe vehicular and pedestrian circulation environment. The perimeter and through streets of South King Street, Evergreen Mill Road and Battlefield Parkway are designed to introduce the design character and the quality living environment of Meadowbrook.

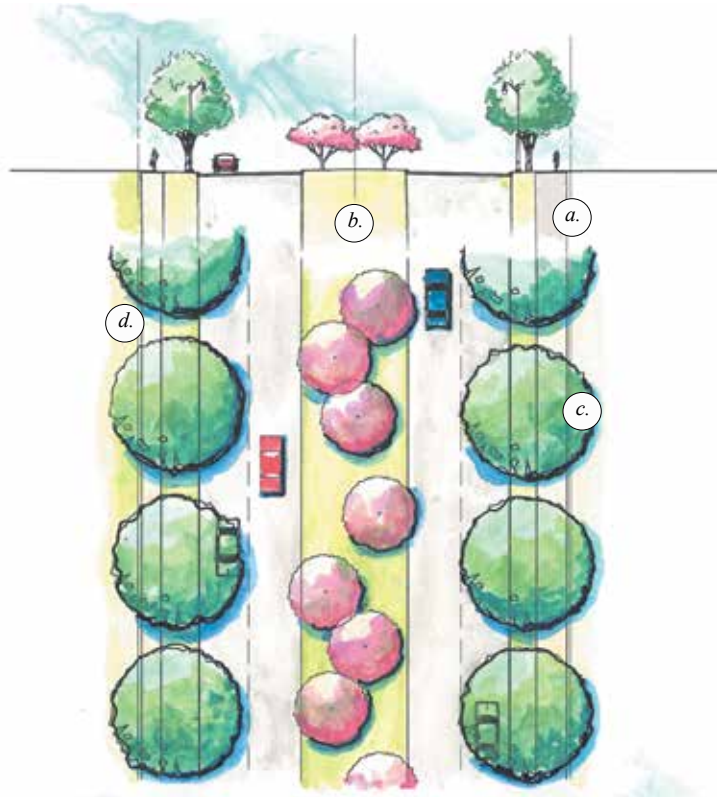
The grid pattern of the tree lined boulevard and typical residential streets and alleys reinforce the pedestrian friendly livable community, while at the same time providing efficient and safe vehicular circulation.



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## COMMUNITY CONCEPTS



*Typical streetscape along King Street.*

### **Streetscape Patterns: South King Street**

This median divided roadway bordering the west edge of the development is the gateway to Leesburg from the south. A town entrance monument is positioned on the south edge of the site's Route 15 road frontage. The road section allows for an ornamental tree planted median with evenly spaced street trees on the east side of the street and encourages a similar program for the west side of the street. A 5'-0" wide pedestrian walkway is planned along the site's west road frontage. Street lights and street furnishings will conform to town standards.

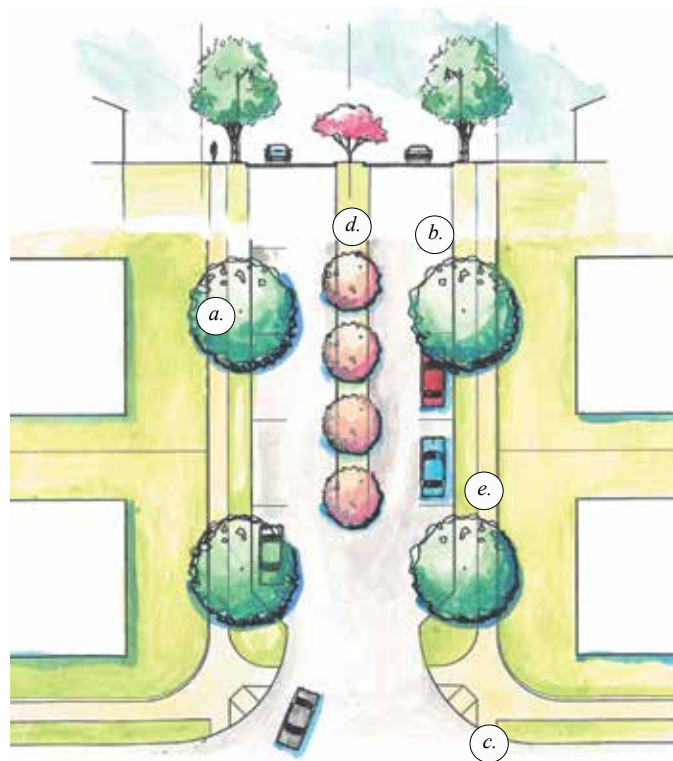
- (a.) 8' wide multi-use asphalt trail (east side)
- (b.) Planted median
- (c.) Street tree
- (d.) 5' wide concrete sidewalk (west side)



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## COMMUNITY CONCEPTS



*Typical streetscape along the main boulevards of Meadowbrook.*

### **Streetscape Patterns: Main Boulevards**

The site's interior main boulevard streets hark back to tree-lined streets of old. The creation of space is defined with shade trees, curb side parallel parking and medians planted with ornamental trees. Public 5'-0' wide sidewalks are present on both sides of the street. Crosswalks at intersections are shortened by the implementation of pedestrian "bump outs" which provide for a safer street crossing and a more aesthetic boulevard entrance. Architectural period light fixtures and traffic control signage will be placed on the streets as required.

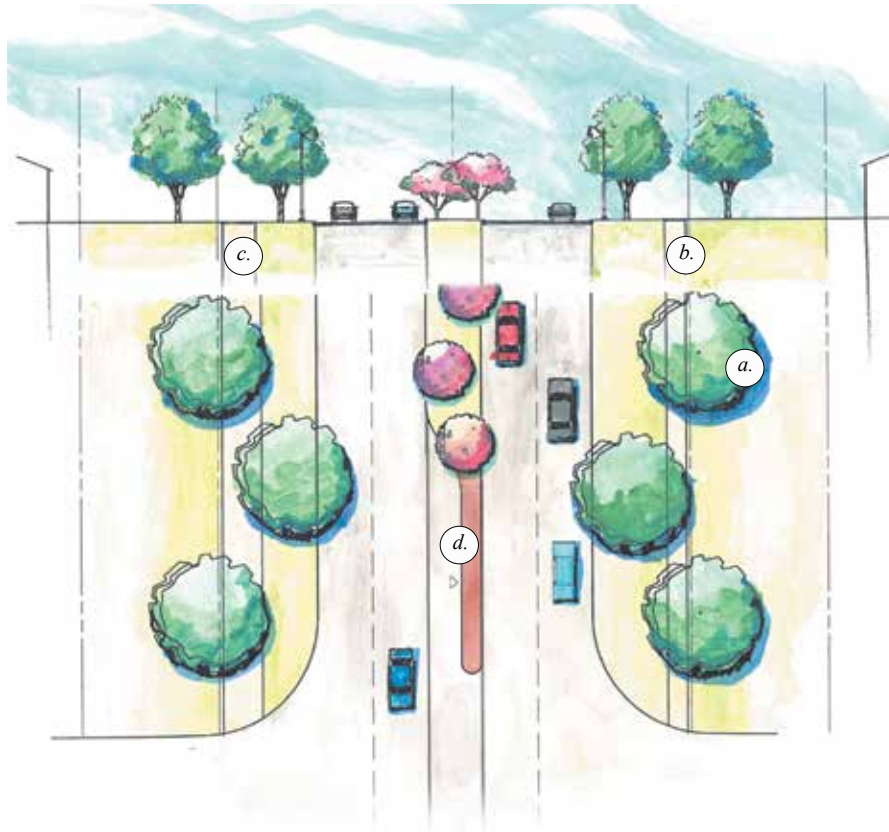
- (a.) Street tree
- (b.) Parallel parking along street
- (c.) Pedestrian crossing with accent paving
- (d.) Planted median
- (e.) 5' wide concrete sidewalks



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## COMMUNITY CONCEPTS



*Traditional front access*

### **Streetscape Patterns: Evergreen Mill Road**

This four lane roadway provides a vital vehicular and pedestrian link into the northern most entrance. The retail center and northern residential neighborhoods are easily accessible from the road by the add of a central continuous common left turn lane. The tree lined roadways also serves as a throughway along the eastern perimeter of the site while providing access to the schools. A 8'-0" wide multi-use trail on the south side of the road provides a continuous route through and around the site, and connects to the trail along South King Street (Route 15).

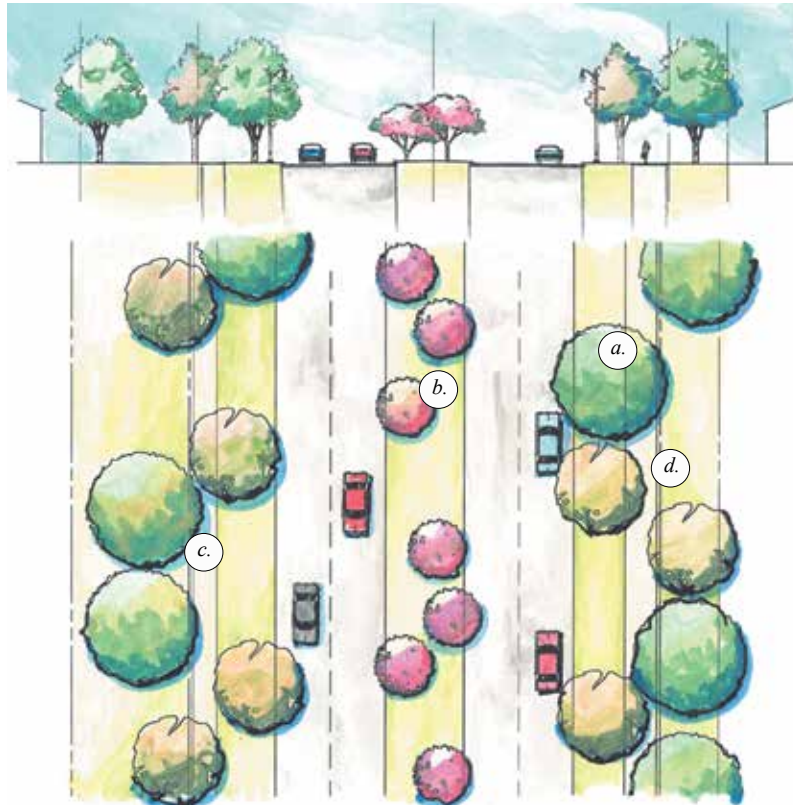
- (a) Street tree
- (b) 5' wide concrete sidewalk (north side)
- (c) 8' wide multi-use concrete trail (south side)
- (d) Landscaped median



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## COMMUNITY CONCEPTS



*Typical streetscape along Battllefield Parkway*

### **Streetscape Patterns: Battlefield Parkway**

The Parkway is designed as a vehicular green way through the southern portion of the community. The median separates the four-lane boulevard, and is landscaped on both sides with informal tree groupings. A 5'-0" wide walkway on the south side connects both vehicular and pedestrian traffic from Route 15 to access the Dulles Greenway. A 8' wide multi-use trail system continues along the north side of the parkway.

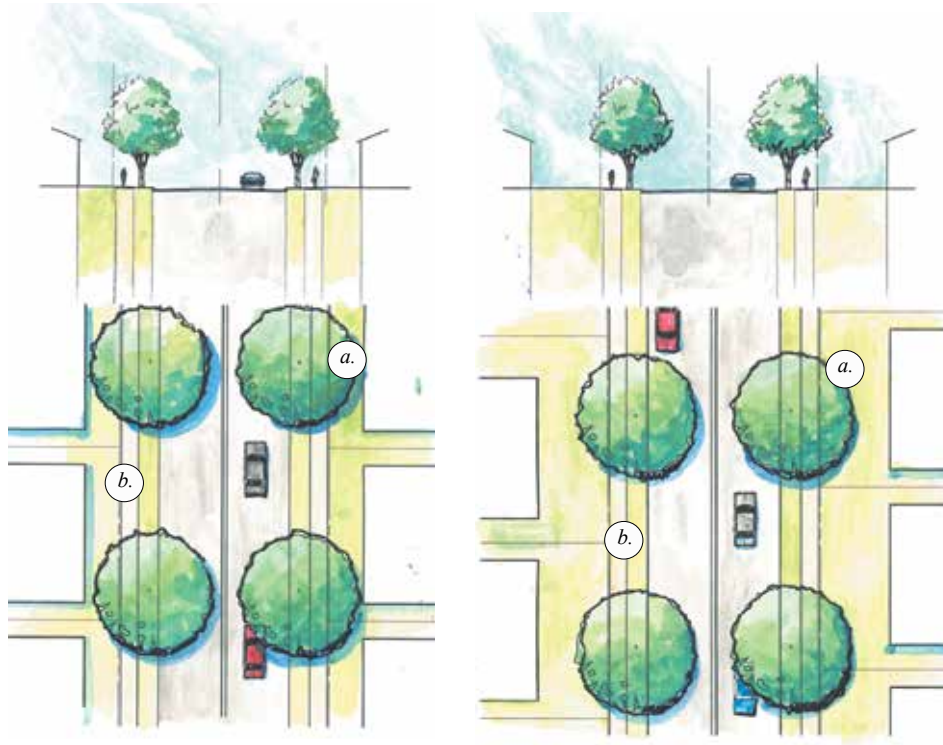
- (a.) Street tree
- (b.) Planted median
- (c.) 5' wide concrete sidewalk (south side)
- (d.) 8' wide multi-use asphalt trail (north side)



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## COMMUNITY CONCEPTS



### **Streetscape Patterns: Local Public Roads**

The majority of the interior community streets are of a design which provides ease of vehicular and pedestrian circulation. The streets are tree-lined with graciously spaced shade trees planted in continuous lawns behind the curb, while providing a 5'-0" wide sidewalk on both sides of the street for pedestrian convenience. On-street curbside parking is provided on both sides of the street. Architectural period light fixtures and traffic control signage will be placed on the streets as required.

- (a) Street tree
- (b) 5' wide concrete sidewalk

*Typical local public roads are shown above with 10' frontyard setbacks (left) and 20' front yard setbacks (right).*



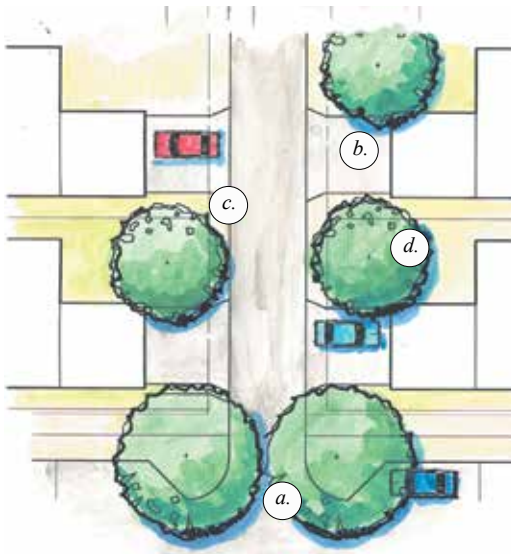
## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

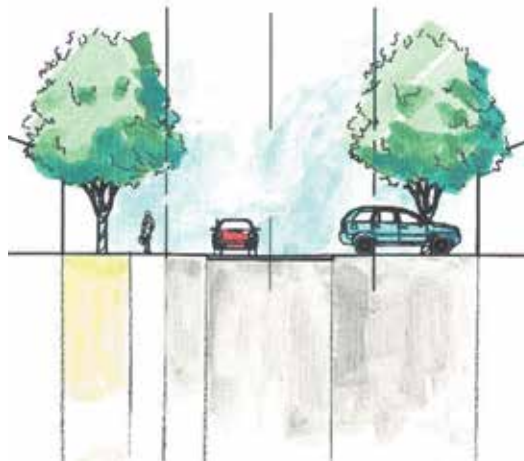
## COMMUNITY CONCEPTS

### Streetscape Patterns: Private Alleys

The alleys have been designed to accommodate vehicular traffic to the 'rear garage' units while providing adequate maneuverability for public service vehicles. Informal plantings of rear yard trees and shrub plantings in conjunction with low picket fencing will soften the alley's presence from the private rear yards. Architectural period light fixtures and traffic control signage will be placed accordingly. A 6'-0" wide public utility easement on both sides of the alley is present to service the homes from the rear.



*Traditional front combined driveway access.*



- (a) Alley access to driveways
- (b) Driveway
- (c) 6' wide utility access easement
- (d) Shade tree provides scale to alleyway



## *Meadowbrook*

*PLANNED RESIDENTIAL COMMUNITY*

### COMMUNITY CONCEPTS



#### Streetscape Elements

A comprehensive street tree and street furnishings program also assists in projecting the unique neighborhood experience of living at Meadowbrook. Street trees and accent ornamental trees provide a cohesive canopy network, while elements such as benches, lighting, and paving further define spaces, create character, and provide safe experiences for pedestrians throughout the community.



## Meadowbrook

PLANNED RESIDENTIAL COMMUNITY

### COMMUNITY CONCEPTS



-  'Allee' Lacebark Elm
-  'Green Pillar' Pin Oak
-  Willow Oak
-  'Princeton Sentry' Ginkgo Biloba
-  'October Glory' Red Maple
-  Littleleaf Linden
-  Upright European Hornbeam
-  Shumard Oak
-  London Planetree
-  Mix Planting:  
Yoshino Cherry  
Willow Oak  
'October Glory' Red Maple

### Streetscape Elements: Landscape Patterns

An organized street tree program helps provides a community with neighborhood character definition. The use of a street tree hierarchal network helps define a unique identity for each neighborhood within the community. The major arterial roads and boulevards are articulated with consistent street trees throughout Meadowbrook, tying the fabric of streets together cohesively. Each neighborhood within the community is assigned a different tree species creating unique character and a sense of identity for its residents. The street tree program also highlights the Promenade setting it apart as a featured community green. The Promenade is lined on either side with Ginkgo Bilboa trees, boasting brilliant yellow fall color. The neighborhood roads surrounding the Promenade are lined with "October Glory" Red Maples, providing a dramatic contrast to the Ginkgos in the fall.



## *Meadowbrook*

PLANNED RESIDENTIAL COMMUNITY

### COMMUNITY CONCEPTS



#### Streetscape Elements: Landscape Patterns

The use of trees defines how a space is experienced. Trees serve as the framework unifying streetscape elements as a whole as well as defining the character of a street. In developing the character of the Meadowbrook community, the use of a different street trees along the various roadways will not only create visual diversity but also help create a uniqueness of each corridors.



*'October Glory' Red Maple (Acer rubrum) (above left)*  
*Princeton Century Ginkgo (Ginkgo biloba) (above right)*  
*Lacebark Elm (Ulmus parvifolia) (right)*  
*Green Pillar Pin Oak (right)*



## *Meadowbrook*

PLANNED RESIDENTIAL COMMUNITY

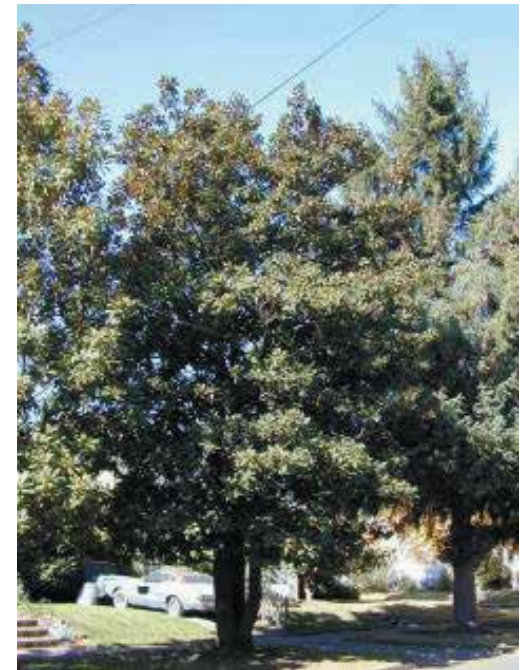
### COMMUNITY CONCEPTS



*Yoshino Cherry (above)*  
*Magnolia grandiflora (Southern Magnolia)*

#### **Streetscape Elements: Landscape Patterns**

Ornamental trees are used throughout the Meadowbrook community in areas of special interest to create a unique experience and accent the featured spaces and amenities. The Town Gateway park incorporates large groupings of flowering Yoshino Cherry trees on either side of the trail, defining the space as one enters the town. Dark evergreen trees and textured specimens including the Southern Magnolia, provide contrast and backdrop for the flowering ornamentals. The Yoshino Cherry trees also appear at the terminus of the Promenade, encircling the focal feature.



*Meadowbrook*

In the Town of Leesburg, Virginia



A CENTEX COMMUNITY

## *Meadowbrook*

*PLANNED RESIDENTIAL COMMUNITY*

### COMMUNITY CONCEPTS



*Classic-style streetscape elements such as the ones shown are essential to the historic charm and character of Meadowbrook.*



#### Streetscape Elements: Site Furnishings

Site furnishings, such as benches and trash receptacles, will be provided throughout the community, including the Public Park, Recreation Area and Greens. These will serve as a common element creating a unifying thread linking the community as a whole.



## *Meadowbrook*

### *PLANNED RESIDENTIAL COMMUNITY*

## COMMUNITY CONCEPTS

### Streetscape Elements: Site Furnishings



*Tubular Steel picket fencing with brick pilaster around pool at community center (above). Gazebo structures for the Town Park (above-right)*

Also included as site furnishings will be gazebos and fencing, in keeping with historic character of the Town of Leesburg. These elements will serve as accents to the streetscape vernacular as well as add interest at key points within the community.



## Meadowbrook

### PLANNED RESIDENTIAL COMMUNITY

## COMMUNITY CONCEPTS



### Streetscape Elements: Site Furnishings

A street lighting program will be developed to provide a safe pedestrian environment as well as to maintain visual continuity throughout the community. The lighting fixture style will be of historic nature and will follow the defined standards. They will exist at major intersections only. Accent paving is another important element contributing to the overall quality of the community streetscape. Specialty paving such as the brick pavers shown on this page will be used at pedestrian landings of major intersections.



MAJOR CROSSWALK  
Stamped Asphalt Crosswalk



MAJOR CROSSWALK  
Stamped Asphalt Crosswalk  
Specialty Paving in Pedestrian Landing



MINOR CROSSWALK  
Standard Striped Crosswalk



*Accent paving at  
pedestrian land-  
ings of major  
intersections*



*Street lighting*

## *Meadowbrook*

*PLANNED RESIDENTIAL COMMUNITY*

### CONCLUSION



The purpose of this guide is to illustrate the approach Meadowbrooks' designers have taken to enhance this important piece of Leesburg's town fabric. The intent is to begin with the site situation and orientation, establish potential opportunities with existing conditions, and provide a window into the evolution of the conceptual design.

We believe it does that. We also believe it goes a step further- that it shows what can be accomplished in today's development arena- the reestablishment of Leesburg's traditional town grid and continuation of traditional neighborhood pattern.

Without doubt, Meadowbrook offers a better solution to other land development alternatives. The grid pattern offers traffic dispersal and calming, smaller lots and frontages match the Town's historic pattern, and the streets themselves become welcoming places as neighbors gain a place that creates something that Leesburg's residents value- a sense of community. Traditional design fits on this site. It fits with the land, with the existing road network, with community facilities, with historic patterns, with buyer's desires, with the environment, and with the future.

This plan may have people asking, many years from now:

Why do we like Leesburg so much?



## *Meadowbrook*

*PLANNED RESIDENTIAL COMMUNITY*

### THE DESIGN TEAM

#### Applicant/ Builder

Centex Homes  
14121 Parke Long Court Suite 201  
Chantilly, VA 20151

#### Environmental Studies

Wetland Studies and Solutions, Inc  
Chantilly, VA

#### Archeological Investigation

Thunderbird Archeological  
Woodstock, VA

#### Marketing

Master Media Group  
Winchester, VA

#### MUC Planning

RTKL  
Washington, D.C.

#### Town Planning, Visualization and Civil Engineering

Bowman Consulting  
Leesburg, VA

#### Attorney

Walsh Colucci  
Lubeley Emrich & Terpak PC  
Leesburg, VA

#### Traffic Engineering

Gorove/Slade Associates, Inc  
Herndon, VA

#### Landscape Architecture

Studio 39  
Alexandria, VA



Planning Booklet by Bowman Consultants, Inc

